



ELDREDGE HOME INSPECTION

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FULL HOME TEMP - NON IRB

1234 Main Street
Cary, NC 27513

Buyer Name

01/24/2026 9:00AM



Inspector

Michael Eldredge



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SUMMARY



RECOMMENDATION

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney.

- ⊖ 1.2.1 Informational section - Viewing your report: Inspector Michael Eldredge - Non repair item - informational for best method to view the report.
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- ⊖ 2.1.1 Appliances - Dishwasher: Appliance contractor is needed for repair
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- ⊖ 10.1.2 Interior - Rooms - Bathroom(s): Showerhead leaking
- ⊖ 10.1.3 Interior - Rooms - Bathroom(s): Shower or tub chipped/damaged
- ⊖ 10.3.1 Interior - Rooms - Kitchen : Cabinet repairs needed
- ⊖ 10.4.1 Interior - Rooms - Laundry : An evaluation and repair is needed
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- ⊖ 10.4.3 Interior - Rooms - Laundry : Rubber hoses upgrade is recommended
- ⊖ 10.5.1 Interior - Rooms - Living areas: Flooring is damaged
- ⊖ 11.1.1 Interior - Windows, Doors, Stairs, ceiling & Walls - Doors - interior : Door rubs
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- ⊖ 11.3.1 Interior - Windows, Doors, Stairs, ceiling & Walls - Walls and ceilings: Wall is not straight or perpendicular to corresponding walls
- ⊖ 11.4.1 Interior - Windows, Doors, Stairs, ceiling & Walls - Windows: Window cloudy - seal is damaged
- ⊖ 12.1.1 Insulation & Ventilation - Attic - Attic Insulation and Ventilation : Blocked access
- ⊖ 14.2.1 Plumbing - Water Supply, Distribution Systems & Fixtures: Hose bib not secure
- ⊖ 14.2.2 Plumbing - Water Supply, Distribution Systems & Fixtures: Hot and cold are reversed – at the kitchen or bathroom sink
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- ⊖ 16.2.1 Roof - Roof Drainage Systems: Pop ups extension caps - failing

1: INFORMATIONAL SECTION

1.1	General
1.2	Viewing your report

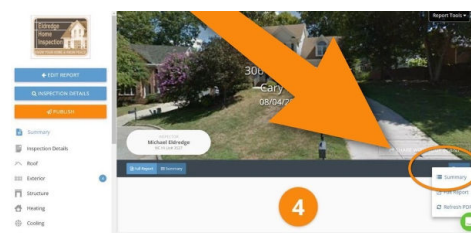
Observations

1.2.1 Viewing your report

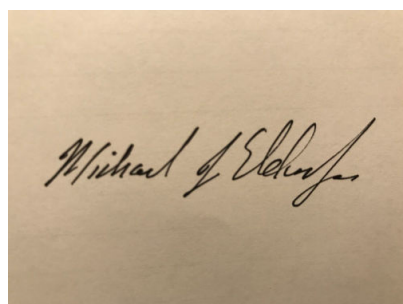
INSPECTOR MICHAEL ELDREDGE - NON REPAIR ITEM - INFORMATIONAL FOR BEST METHOD TO VIEW THE REPORT.

For the best view of the information concerning repairs, click on the PDF version marked by the arrows on the bottom right of the photo.

If the inspector needed to amend the report, you will need to click "Refresh PDFs" to see the latest version.



Click on the PDF summary for the best way to view the report



Michael Eldredge Lic#3527

1.2.2 Viewing your report

REPAIR RECOMMENDATIONS - NEW OR EXISTING HOME

Instructions for a new home:

The builder, who is a licensed general contractor, is your primary source for repairs of your new home. The builder will defer to licensed plumbers, electricians, HVAC technicians, and engineers as needed based on the findings in the report. In the majority of home purchases, the buyer does not need to hire a separate outside licensed plumber etc.

*** Engineers have measured the number of steps to building a home which totals out to approximately 30,000 steps for an average size home. Please be encouraged that although each finding is very important, the overwhelming majority of the build for your home has been well built.

Instructions for an existing home:

Your report will include recommendations for further investigation by licensed HVAC, electrical, plumber, and general contractors for many of the repairs. Hiring the licensed individual protects you, the buyer, from incorrectly performed repairs. For example, not using both glue and primer when repairing a simple HVAC condensate drain will result in water damage from leaks even years later. In some cases, an engineer is recommended when the repair plan is likely to be beyond the scope of the licensed general contractor.

Recommendation

Contact a qualified professional.

2: APPLIANCES

2.1	Dishwasher
2.2	Garbage Disposal
2.3	Microwave - built in
2.4	Range/Oven
2.5	Range top (counter)
2.6	Hood Vent for Range
2.7	Refrigerator was partially inspected

Observations

2.1.1 Dishwasher

APPLIANCE CONTRACTOR IS NEEDED FOR REPAIR

An appliance contractor should be consulted for the evaluation and repair of this appliance.

Recommendation

Contact a qualified professional.



See description and following photos.

Additional photo of this finding showing how the dishwasher is not parallel to the cabinet.

2.4.1 Range/Oven

APPLIANCE CONTRACTOR IS NEEDED FOR REPAIR

An appliance contractor should be consulted for the evaluation and repair of this appliance.

Recommendation

Contact a qualified professional.



See description for this finding regarding the light.

2.4.2 Range/Oven

NOT FUNCTIONAL

Several attempts were made to test the stove's functionality. The stove was found to be non-operational. It is recommended that an appliance technician inspect and repair the stove to ensure it is functioning correctly.

Recommendation

Contact a qualified professional.



See description and following photos.



The display states that the door is not closed when the door is actually closed. The oven will not operate for this reason.

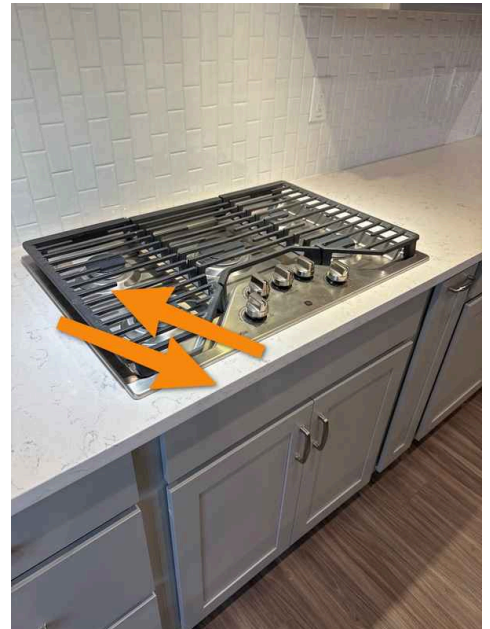
2.5.1 Range top (counter)

COOKTOP BASE MOVES

The cooktop moves which will scratch the counter top. An appliance repair specialist should be consulted for further evaluation and repair to ensure safe and proper operation of the appliance.

Recommendation

Contact a qualified professional.



See description for this finding.

3: ELECTRICAL

3.1	Meter / Service
3.2	Electrical Panel
3.3	Branch Wiring
3.4	Lighting, Switches, & Receptacles
3.5	Smoke and Carbon Monoxide Detectors

Observations

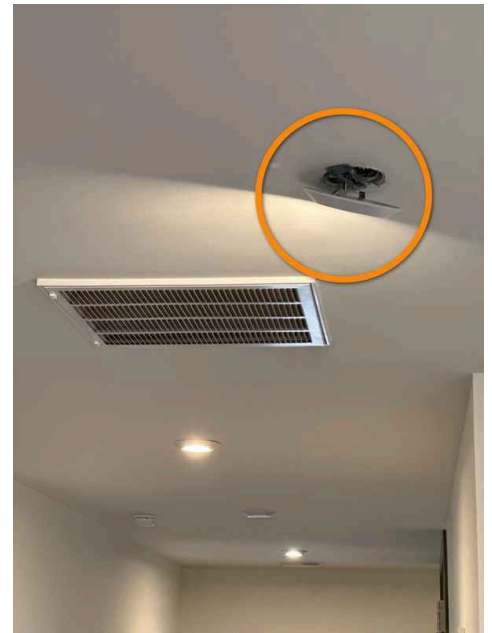
3.4.1 Lighting, Switches, & Receptacles

LIGHT FIXTURE/FAN NOT SECURE

The light fixture/fan is not secure. Loose installations could result in the light not operating and electrical hazards. A licensed electrical contractor should be consulted for further evaluation and to make necessary repairs.

Recommendation

Contact a qualified professional.



See description for this finding located in the living room.

3.4.2 Lighting, Switches, & Receptacles

LIGHT - NOT OPERATIONAL

The light fixture wasn't working when tested, which could mean there is a bad bulb or a larger issue like faulty wiring or a defective fixture. If it's an LED light, it's best to obtain an electrician. A licensed electrical contractor should check it out for further evaluation and repair.

Recommendation

Contact a qualified professional.



See description and following photos.

Additional photo of this finding also showing that this is a specialized smaller sized lightbulb.

4: EXTERIOR - SIDING ETC.

4.1	Siding & Trim
4.2	Doors - exterior
4.3	Driveways, Walkways, & Patios
4.4	Porch, Deck, Balcony
4.5	Vegetation, Grading, & Retaining Walls
4.6	Pool is not part of the Home Inspection
4.7	Shed
4.8	Play set
4.9	Fence

Information

**Vegetation, Grading, &
Retaining Walls: Grading**

**Vegetation, Grading, &
Retaining Walls: Vegetation**

Observations

4.1.1 Siding & Trim

ADHERED MASONRY SIDING - NCLB

Adhered masonry stone/manufactured stone veneer cladding has been installed on this home. An inspection of the visible components suggests that the cladding system may not have been installed in such a way as to ensure that the cladding is a weather-resistant system that protects the wall assembly from excessive water penetration, condensation, and or water accumulation. At the time of inspection, the following concerns were noted and in need of further evaluation:

- A weep system was not observed at transitional intersections with adjacent cladding materials and trim.
- Transitional flashing, drip screed, and sealant details were not observed for window and door openings.
- Standard clearance, flashing and sealant details were not observed at boxing areas, eaves and rakes.

The installation of the stone cladding should be evaluated by a licensed general contractor and repaired as needed to correct any possible water penetration issues and verify that the stone cladding is installed to the specific installation requirements of the North Carolina State Building Code: Residential Code and /or the Masonry Veneer Manufacturer's Association (MVMA). Please note that because the water resistive barrier, metal lath, and base coat(s) of cement stucco are completely concealed behind the adhered masonry stone veneer cladding, they cannot be evaluated by a visual inspection.

Recommendation

Contact a qualified professional.



See description and following photos.



Similar findings were found here.



There is no transition strip between materials.



Similar findings were found here where there is no transition strip. Also, the trim is not painted which means it does not protected.



This unpainted trim is not projected by a transition strip and is not painted. This area is exposed to water each time it rains.



Additional photo of this finding, there is no weep system above the windows. The area above the windows and garage door are the most likely to become decayed.

4.2.1 Doors - exterior

DEADBOLT - SCREWS AND PLATE

The screws used for the deadbolt are light weight, not heavy duty. Also, the off centered heavy duty strike plate directs the screw more toward middle of the stud. The proper off centered strike plate should be installed so that the screws enter the proper portion of the stud. The trim will easily break if an intruder were to force their entry. These should be replaced with off centered heavy duty plate and proper screws that reach into the stud by a licensed general contractor.

Note - some builders purchase locks without this security feature. The repair is still recommended.

See the instruction provided for typical deadbolts below. Step #7 provides details regarding this.
<https://www.schlage.com/blog/categories/2016/06/how-to-install-a-deadbolt-lock.html>

Recommendation

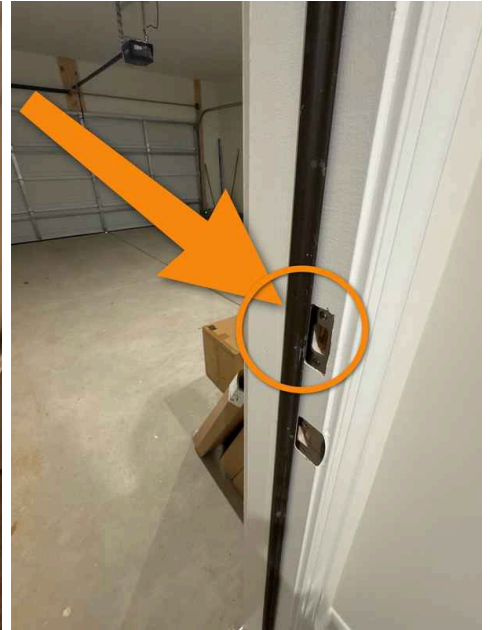
Contact a qualified professional.



See description for this finding for the front door. These small three-quarter inch screws will not stop an intruder.



Similar findings were found here for the rear door.



Similar findings were found here.

4.2.2 Doors - exterior

DOORBELL DAMAGED OR NOT FUNCTIONAL

The doorbell was inspected and found to be either damaged or not functional. A licensed electrician should be consulted to complete repairs of the doorbell. Also, some camera style doorbells are only functional when connected to the end. Further evaluation and owner disclosure is needed.



See description for this finding.

4.2.3 Doors - exterior

THRESHOLD/KICKPLATE MOVES

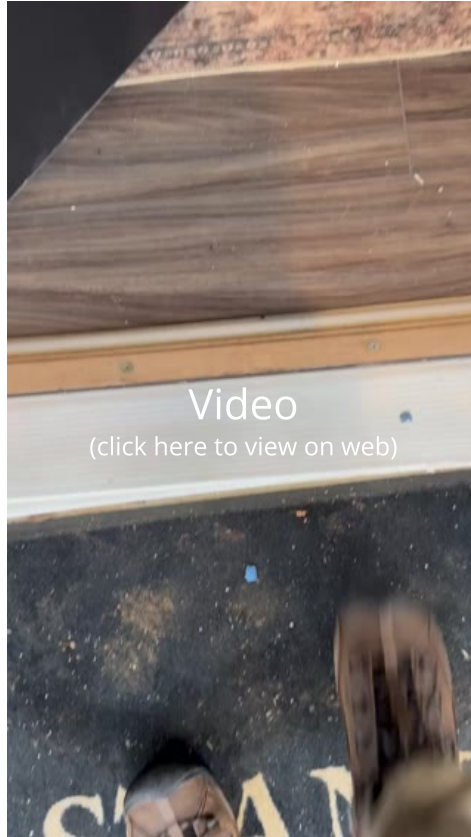
The threshold or kickplate for the door should be supported better. This will or is creaking.

Recommendation

Contact a qualified professional.



See description for this finding, the threshold makes a significant amount of noise. See following video.



4.5.1 Vegetation, Grading, & Retaining Walls

TRIP/FALL HAZARD

Trip hazards were found around this home. All areas in the photos should be repaired to avoid trip hazards within the property.

Recommendation

Contact a qualified professional.



See description and following photos.

The holes from the sign should be filled in and grass should be installed.

5: FIREPLACE

5.1	Fireplace and Chimney
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6: GARAGE

6.1	Interior
6.2	Garage Door & Opener

Observations

6.2.1 Garage Door & Opener

CHAIN/BELT LOOSE

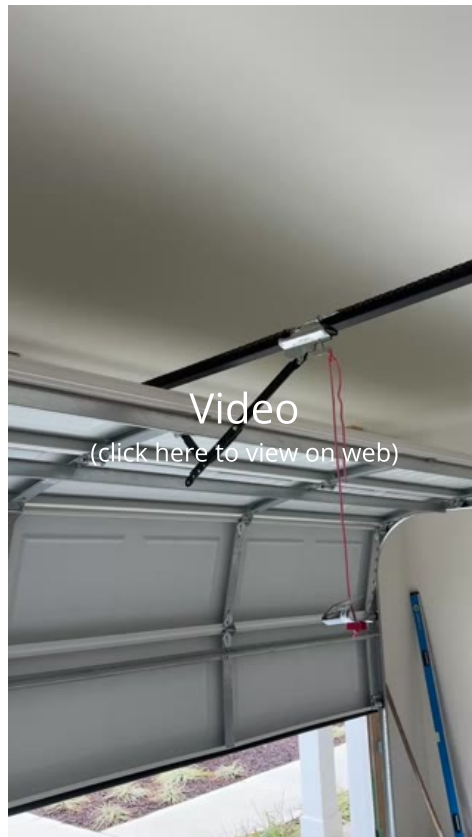
The garage door needs adjustment and repair. The door lift motor chain/belt was excessively loose and hung loose during operation. Consult a qualified garage door company or contractor for evaluation and repairs to ensure safe operation.

Recommendation

Contact a qualified professional.



See description for this finding. The chain begins shaking when the door is lowered. See following video.



6.2.2 Garage Door & Opener

DOOR LUBE, ADJUSTMENT, AND POSSIBLE REPAIR

The garage door tracks for the door and for the motor need lubrication and/or repair. The door is loud when raised and lowered. A garage door contractor should be consulted for the repair of the door.

Recommendation

Contact a qualified professional.



The wiring below the button is visible.

6.2.3 Garage Door & Opener

TWO SPRING UPGRADE RECOMMENDED

A garage door that is installed with only one spring is more dangerous. If the one spring breaks, the door rolls down with no resistance very quickly. This will damage the door, anything under the door such as a car, and result in serious injuries to any person. For this reason, it is recommended to upgrade the door to a two spring design.

See link

<https://heritagedoor.com/garage-door-1-spring-vs-2-springs/>



See description for this finding.



Also, the spring/springs should be adjusted. The door is difficult to raise by hand.

7: GAS LINES

7.1 Gas Lines

Observations

7.1.1 Gas Lines

GAS LEAK - SMALL

There is a small gas leak here. This may worsen at any time becoming a significant issue for the home and dangerous. This leak should be fully investigated by an HVAC technician or a licensed plumber.

Recommendation

Contact a qualified professional.



See description and following photo regarding the small gas leak here inside the furnace cabinet.



Additional photo of this finding.

8: HVAC - COOLING

8.1	Cooling Equipment
8.2	Distribution System
8.3	Presence of Installed Cooling Source in Each Room

Information

Presence of Installed Cooling Source in Each Room: Presence of HVAC in finished spaces unless noted below

Observations

8.1.1 Cooling Equipment

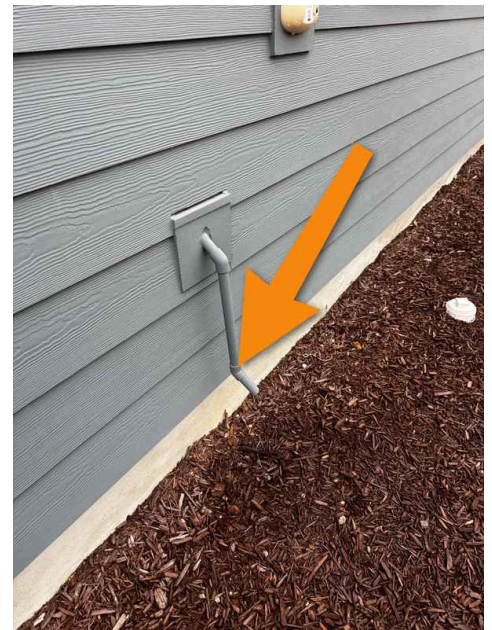
CONDENSATE DRAIN EXTENSION (UPGRADE)

The condensate drain is too close to the foundation. The building code does not require this extension but water does often seep through the foundation from here. This can cause the soil to stay wet when the surrounding soil is dry. This wet soil expands causing a strain on the foundation system which can lead to cracking. A licensed HVAC Contractor should be consulted to extend this tubing to a proper design and length.

Note: the tray used at the bottom of gutter downspouts is typically effectively utilized as a repair for this finding.

Recommendation

Contact a qualified professional.



See description for this recommended upgrade.

9: HVAC - HEATING

9.1	Equipment
9.2	Distribution Systems
9.3	Presence of Installed Heat Source in Each Room

Information

Presence of Installed Heat Source in Each Room: Presence of HVAC in finished spaces unless noted below

10: INTERIOR - ROOMS

10.1	Bathroom(s)
10.2	Bedroom(s)
10.3	Kitchen
10.4	Laundry
10.5	Living areas
10.6	Basement

Observations

10.1.1 Bathroom(s)

MIRROR - REFLECTIVE BACKING IS DAMAGED

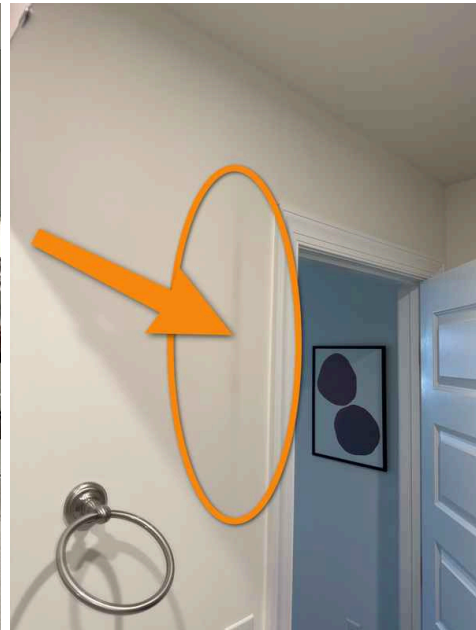
This mark on the mirror does not come off. There is damage to the backing of the mirror which creates the reflective surface.

Recommendation

Contact a qualified professional.



See description and following photo regarding the mirror and the jack and Jill bathroom.



Additional photo of this finding.

10.1.2 Bathroom(s)

SHOWERHEAD LEAKING

The shower head is leaking into the tub/shower when operated. A licensed general contractor or plumber should be consulted for evaluation and repair.

Recommendation

Contact a qualified professional.



See description and following photo regarding the showerhead in the first floor bathroom.



Additional photo of this finding.

10.1.3 Bathroom(s)

SHOWER OR TUB CHIPPED/DAMAGED

The tub/shower has a chip in the surface that will eventually result in a leak that can damage the tub. A specialist in tub repair should be consulted to refinish this area.

Recommendation

Contact a qualified professional.



See description and following photos regarding the tub in the first floor full bath.



The damage in the tub is significant and could cause a tub to crack at a later time. Manufacturer evaluation is needed. This defect described in this section of the report is likely to void the manufacturer warranty. The buyer should consult with the manufacturer (not the installer) directly.

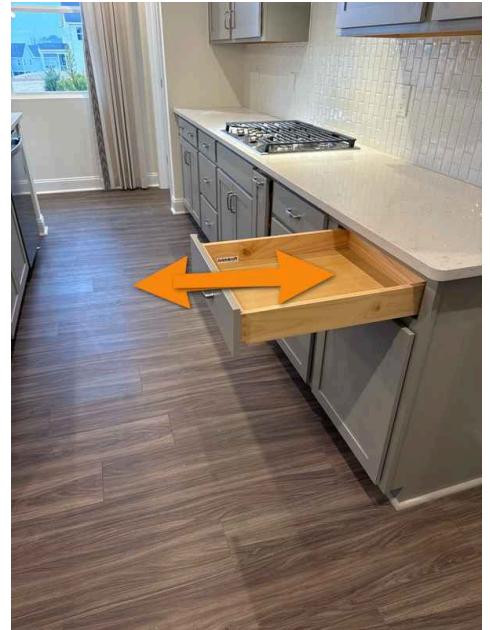
10.3.1 Kitchen

CABINET REPAIRS NEEDED

The open cabinets are in need of repair. The hinges/tracks should be assessed and repaired so that they are hinges are tight or the drawer tracks glide properly by a contractor. Also, necessary cosmetic repairs may be needed which are described in the photos.

Recommendation

Contact a qualified professional.



10.4.1 Laundry

AN EVALUATION AND REPAIR IS NEEDED

It is recommended that a qualified/licensed professional be consulted for a full evaluation and repair of the findings described in the photos by this report finding.

Recommendation

Contact a qualified professional.



Today's modern construction requires installation of a constant vent/fresh air inlet to the laundry room. This vent is smaller than common. The original building specs/plans should be followed.

Also, this drawer is not level because it is off track.

10.4.2 Laundry

DRYER ELECTRICAL CONNECTION IS NOT PROTECTED

Dryer electrical connection is not protected against the sharp edges of the back of the dryer. This can cause shorts in the electrical wire which will electrify the metal shell of the dryer. This can cause injuries to a person. The protective metal clamp should be installed over top of the black wire jacket. An appliance installer should be consulted to repair the dryer.

Recommendation

Contact a qualified professional.



See description and following photos regarding the electrical connection for the dryer.



See following photos.



The metal sleeve that protects the wire from the sharp metal dryer cabinet is missing.

10.4.3 Laundry

RUBBER HOSES UPGRADE IS RECOMMENDED

This is an upgrade recommendation, not a repair request. The rubber hoses supplying water to the washing machine are prone to split creating a large scale plumbing leak leading to significant damage. Replacing these supply lines should be completed every 4 to 5 years. This is an important upgrade to avoid future damage.

Upgrading with supply lines that have a stainless steel jacket is recommended.

Recommendation

Contact a qualified professional.



See description for this finding.

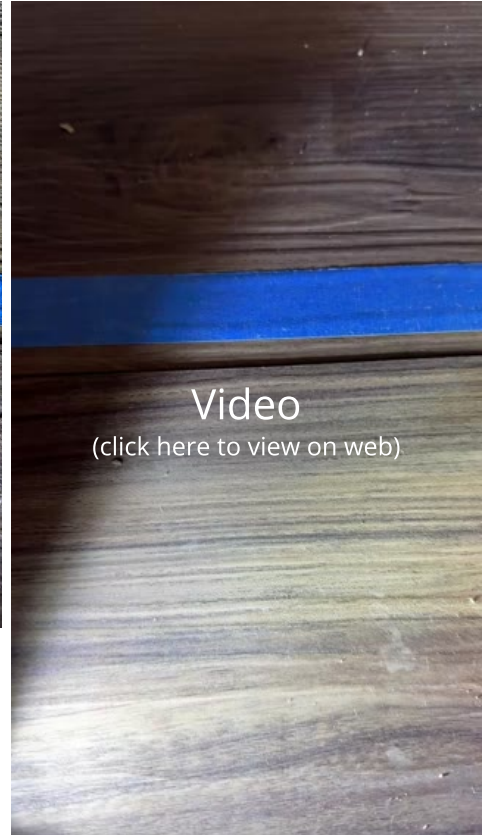
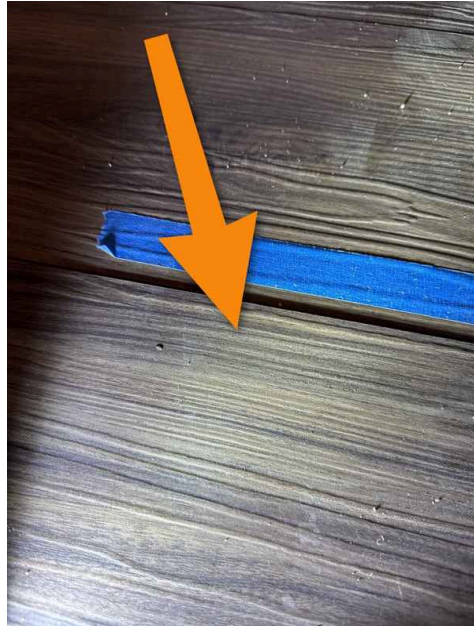
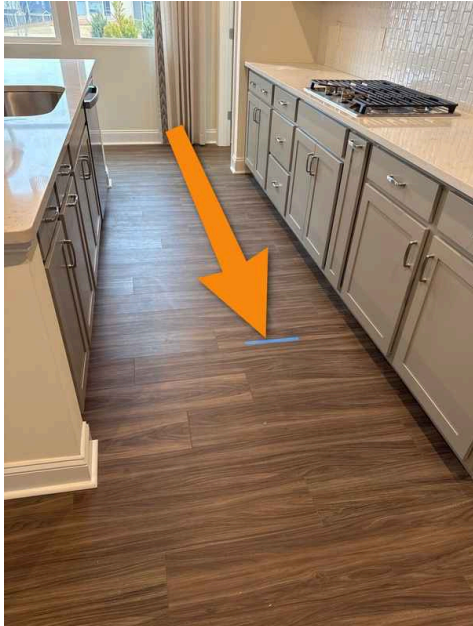
10.5.1 Living areas

FLOORING IS DAMAGED

All damaged flooring should be replaced. All areas of the floor should be inspected for damage by the installer.

Recommendation

Contact a qualified professional.



The flooring was repaired here. The two pieces move up and down separately more than what is common. This means this area of flooring is likely to become damaged.

Additional photo of this finding showing the height variance. See following video.

11: INTERIOR - WINDOWS, DOORS, STAIRS, CEILING & WALLS

11.1	Doors - interior
11.2	Stairways & Railings
11.3	Walls and ceilings
11.4	Windows

Observations

11.1.1 Doors - interior

DOOR RUBS

The door rubs against the door frame / floor. A licensed general contractor should be consulted for the repair.

Recommendation

Contact a qualified professional.



See description for this finding located in the laundry room. Also, the door cannot be closed for this reason.

Similar findings were found here regarding the door to the left rear bedroom. This door cannot be closed either.

11.2.1 Stairways & Railings

DAMAGE TO THE SURFACE OF THE STAIRS OR RAILING - NEW HOME

Damage to the surface of the stairs was found here. All repairs to the stairs and should be made so that no damage is visible.

Recommendation

Contact a qualified professional.



See description and following photos.

This damage is more significant than typical wear and tear.

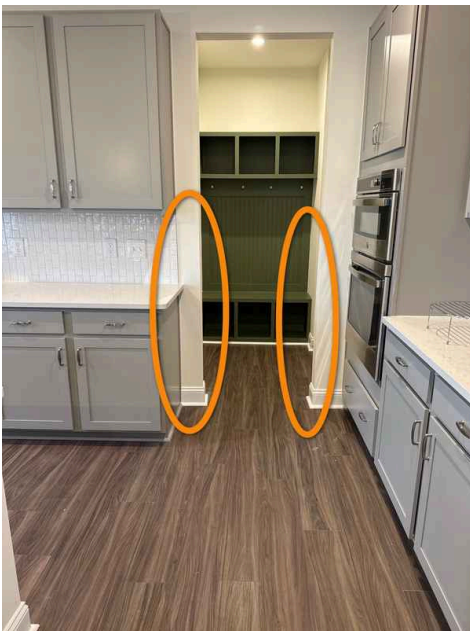
11.3.1 Walls and ceilings

WALL IS NOT STRAIGHT OR PERPENDICULAR TO CORRESPONDING WALLS

It is understood that the structure is made from dimensional lumber. Often dimensional lumber is not completely straight. However, the poor alignment of this wall is more than what is common. This is easily noticeable while walking throughout the home. Repair should be made to create a more uniform surface.

Recommendation

Contact a qualified professional.



See description and following photos.

Additional photo of this finding.

Additional photo of this finding.

11.4.1 Windows

WINDOW CLOUDY - SEAL IS DAMAGED

The window is cloudy which typically means that the argon seal has leaked out. Moisture has filled the gap and turned cloudy. Weather conditions can make it difficult to assess all windows. A licensed general or window contractor should be consulted for the repair and assessment of all of the windows.

Recommendation

Contact a qualified professional.



See description and following photos. Additional photo of this finding.

12: INSULATION & VENTILATION - ATTIC

12.1	Attic Insulation and Ventilation
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Observations

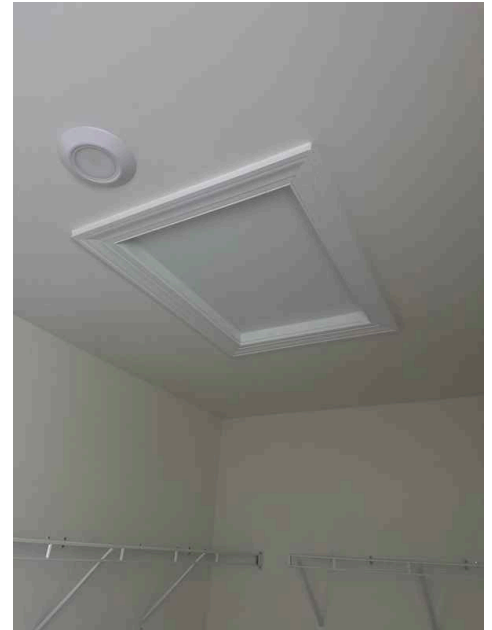
12.1.1 Attic Insulation and Ventilation

BLOCKED ACCESS

The attic access has been painted shut/blocked by storage items. This means that this attic space could not be inspected. The inspector did not have permission to move these items.

Recommendation

Contact a qualified professional.



See description for this finding. The attic access is completely painted shut. Inspecting structure is important. The inspector will return no charge if the panel is removed in a timely manner.

13: INSULATION AND VENTILATION - CRAWL SPACE

13.1	Crawl Space
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14: PLUMBING

14.1	Main Water Shut-off Device
14.2	Water Supply, Distribution Systems & Fixtures
14.3	Drain, Waste, & Vent Systems
14.4	Water heater

Observations

14.2.1 Water Supply, Distribution Systems & Fixtures

HOSE BIB NOT SECURE

The hose bib is not secure to the wall. Pulling on the hose can disturb the plumbing causing a leak in a supply line leading to significant property damage. A licensed plumber should be consulted to secure the hose bib.

Recommendation

Contact a qualified professional.



See description and following photo regarding this hose bib on the left rear corner of the home.



Additional photo of this finding showing that the hose bib is completely pulled away from the wall. Also, the plumber should assess the fitting band at the connection point to the hose bib.

14.2.2 Water Supply, Distribution Systems & Fixtures

HOT AND COLD ARE REVERSED – AT THE KITCHEN OR BATHROOM SINK

When a child reaches for water at the sink, they typically pull the handle down toward them and then turn the faucet on. This means they will be drinking water that has been in the hot water heater and also may burn themselves. This means that a person can burn themselves when they are expecting cold water and receive hot water from the sink faucet. And licensed plumber should be consulted to evaluate and repair this findings.

Recommendation

Contact a qualified professional.



See description and following photos.

Additional photo of this finding. When a child reaches for the faucet handle, they pull the handle down and toward them. This means they will drink water that has been in the hot water system.

14.4.1 Water heater

TEMPERATURE TOO LOW

The hot water temperature was observed to be lower than the recommended level, which could lead to reduced effectiveness in sanitation and may promote the growth of bacteria and viruses within the system. It is recommended that a qualified professional inspect the water heater and adjust the temperature to the appropriate level, typically around 120°F, to ensure safe and effective water usage. Full evaluation by a licensed plumber is needed including a repair plan.

Recommendation

Contact a qualified professional.



The highest temperature achieved was 105°.

15: STRUCTURE

15.1	Foundation
15.2	Columns and Piers
15.3	Floor Structure
15.4	Wall Structure
15.5	Roof Structure

Observations

15.3.1 Floor Structure

FIRE BARRIER BETWEEN FLOORS - REPAIRS NEEDED

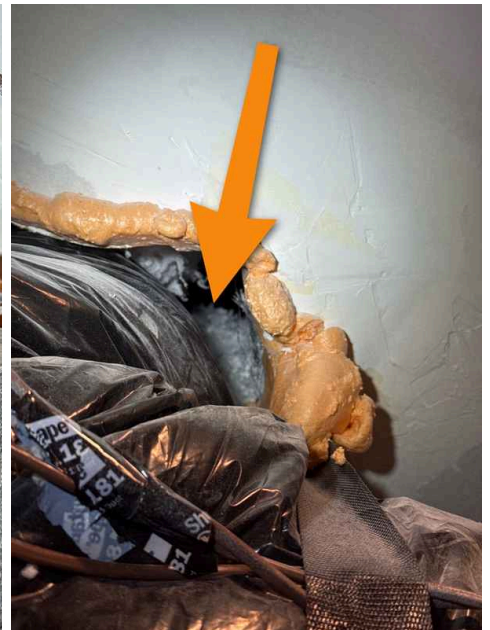
Specific material is used to slow the progression of fire between the different levels of the home. Areas described in the photos show that this barrier is missing some areas. All areas of the home should be evaluated and repaired for this finding by a licensed general contractor.



Insulation falls from the attic when the doors opened. This means the fire blocking between floors is missing.



Additional photo of this finding looking up at the ceiling showing some of the gaps.



Additional photo of this finding where one can see into the attic from the utility room.



The utility room is excessively dirty. All areas should be cleaned.

15.3.2 Floor Structure

FLOOR NOT LEVEL/NOT FLAT

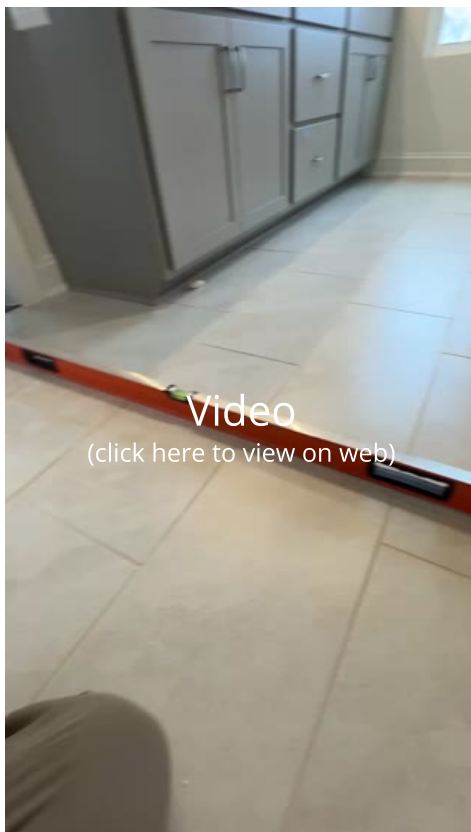
The floor system is not totally flat which will make the installation of new flooring/remodeling more challenging. These high areas in the floor are typically located over top of girders in the floor structure. If this occurs over top of a tile floor installation, the tile are more likely to crack or pop loose. This will also increase the likelihood of creaks in the floor. No other defects in the structure of the floor could be found in the home other than what is described in the photos.

Recommendation

Contact a qualified professional.



See description for this finding, this means the tile are more likely to come loose because the floor is not flat. See following video.



16: ROOF

16.1	Coverings
16.2	Roof Drainage Systems
16.3	Flashings

Observations

16.1.1 Coverings

DAMAGE FROM TRAFFIC FROM WALKING, LADDERS, PAINT, ETC.

The shingles have been damaged when work was being done on the house. Damage was caused from items like ladders, chopping tools, etc. All damaged shingles should be replaced by a roofing contractor to avoid leaks.

Recommendation

Contact a qualified professional.



See description for this finding located above the rear porch.

Additional photo of this finding.

16.1.2 Coverings

ROOFING CONTRACTOR

A roofing contractor should be consulted for a complete evaluation of the roof covering and flashings system to make necessary repairs to ensure the weathertightness of the roof covering system.

Recommendation

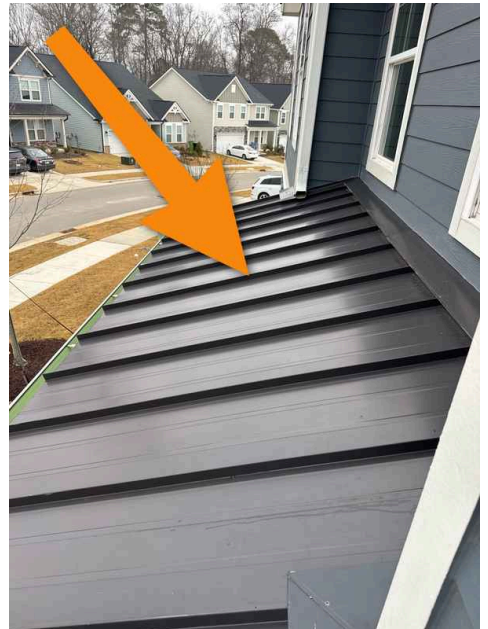
Contact a qualified professional.



See description and following photo. The roofing is damaged from material such as a raised nail that was under the roofing..



This raised nail may puncture the Roofing at any time.



Similar findings were found here.



Also, the counter flashing on the left side of the porch is significantly damaged.



Additional photo of this finding. All areas of the this Roofing section should be assessed for the same finding.

16.2.1 Roof Drainage Systems

POP UPS EXTENSION CAPS - FAILING

The growth and debris is evidence that the gutter downspout extension pop up does not pop up to release the water. It is very important to keep gutter functioning properly to reduce direct drainage to the foundation and wall cladding systems. A licensed general contractor should be consulted for a complete inspection to determine the significance of the concern and to make necessary repairs.

Recommendation

Contact a qualified professional.



See description and following photos. Water overflows in the circled area by the home.



Additional photo of this finding showing how the cap is covered with debris. The debris is not pushed away from the cap because the cap does not open..



Similar findings were found here.



The mulch is being washed away because water overflows from the downspout.



Additional photo of this finding looking under the cap showing the clog. The downspout extension is clogged because of the design of the pop-up cap.



This cap on the right side of the garage is completely covered.



The pop-up cap for this downspout could not be located. This cap is likely covered with grass.



All areas of the home should be assessed for the same finding.

17: INSPECTION DETAILS

17.1	General
17.2	Bedroom(s)
17.3	Bathroom(s)
17.4	Additional Rooms

Information

General: Occupancy

Furnished, Occupied

General: Weather Conditions

Typical for the season

Bedroom(s): Bedroom #1 Master

Bedroom(s): Bedroom #2

1st Floor

Bedroom(s): Bedroom #3

2nd Floor Front Left

Bedroom(s): Bedroom # 4

2nd Floor Right Rear

Bathroom(s): 1/2 bathroom

Floor 1

Bathroom(s): Additional Bathroom

1st Floor Bedroom

Bathroom(s): Hall Bathroom

Bathroom(s): Jack and Jill Bathroom

2nd Floor

Bathroom(s): Master Bathroom

Additional Rooms: Bonus room / Loft

Floor 2

Additional Rooms: Dining Room

Floor 1 Front

Additional Rooms: Living Room

Floor 1

Additional Rooms: Office

1st Floor Front

Additional Rooms: Office 2

2nd Floor Front Middle

18: FOUNDATION - SLAB OR BASEMENT

18.1	Appliances
18.2	Attic Ventilation
18.3	Electrical
18.4	Exterior
18.5	Gas lines
18.6	Garage
18.7	HVAC - Cooling
18.8	HVAC - Heating
18.9	Plumbing
18.10	Roof
18.11	Structure

Information

Appliances : 1. Cooktop on counter

Natural Gas

Appliances : 2. Hood Vent

Kitchen

Exterior duct, Present and operated

Appliances : 3. Range/Oven

Kitchen

Electric, Operated

Inspection Method: The range oven and stovetop were operated. If the unit is electric, the burners were heated until they reached a red heat. If the unit is gas, the burners were observed operating at both high and low settings.

Appliances : 4. Disposal

Kitchen

Present, Operated

Inspection Method: The sink disposal was operated by switching it to the "on" position or until a defect was observed. The grinding effectiveness and feasibility of the waste disposal system were not determined.

Appliances : 5. Microwave

Kitchen

Present, Operated

Inspection Method: The microwave was operated on HIGH for 30 seconds or to the point that a small amount of water was heated or until a defect was discovered. The effectiveness of cooking or wattage could not verified.

Appliances : 6. Dishwasher

Kitchen

Present, Operated

Inspection Method: The dishwasher was operated through the "Normal Cycle" or until a defect was observed. The unit was inspected to ensure functionality and completion of the cycle; however, the effectiveness of the cleaning process was not assessed.

Attic Ventilation : Insulation and Ventilation Type

Blown, Ventilation - Soffit/Ridge

Insulation and Ventilation Section Limitations

All Insulation and Ventilation items listed or identified below were found to be of concern and in need of a full evaluation and repair by a Licensed General Contractor. The insulation in accessible areas was inspected for indications of defects/damage only and not insulation effectiveness or R-value. Determining the energy efficiency of the home is beyond the scope of the home inspection. The inspection or determination of the absence or presence of insulation in concealed areas, such as wall cavities, is not possible. Insulation is not moved in the attic areas. Insulation is moved in the crawl space or foundation areas where plumbing drain/waste pipes penetrate floors, adjacent to earth-filled stoops or porches, and at exterior doors when conditions are not hazardous. The presence of insulation prevents the inspection of the ceiling, roofing, and floor components that are concealed or covered. Defects in the insulation system can lead to air infiltration, condensation, and elevated operational costs. The adequacy and proper function of ventilation systems depend on design specifications that cannot be verified during a home inspection. Inspection procedures related to ventilation involve identifying defects present on systems and components located in the ventilated areas. Active defects, such as winter attic condensation, will not be visible during the summer inspection unless the condensation has stained or corroded adjacent materials. Therefore, the inspection of ventilated areas should be considered seasonally dependent, and the buyer should request a second inspection when the seasons change.

Electrical : 1. Electrical Section

Electrical Section (General Limitations, Implications, and Directions):

All Electrical items listed below that were found to be of concern and in need of further evaluation and repair by a Licensed Electrical Contractor. When repairs are made, the complete electrical system should be evaluated. Electrical issues are safety concerns and should be repaired immediately. During a home inspection, it is not possible to place a home under a full loading condition that would evaluate the capacity of the electrical system. The electrical system was evaluated based on current systems and components, and no consideration was made for future expansion or modernizations. As with any system, the addition of new systems and appliances may require electrical system replacement, modifications, and/or upgrades.

Electrical : 2. Meter / Service

Below Ground, Ground Electrode type - driven rod

Electrical : 3. Main Panel

Capacity/Wire/Location
200 AMP, Service wire - Aluminum

Electrical : 4. Sub Panel #1 Panel

Location and Service Wire
Garage
Service wire - Aluminum, 90 AMP

Electrical : 5. Branch Wiring - area location main panel

Copper

Electrical : 6. Smoke and CO detectors

Finished space
Smoke Detector, Carbon Monoxide Detector

Exterior : 1. Inspection Exterior

Visual

Exterior Section (General Limitations, Implications, and Directions):

All concerns related to exterior items listed below or identified as deficient require evaluation and/or repair by a Licensed General Contractor. It's important to correct exterior deficiencies to prevent water penetration, which can result in structural damage and/or undesirable environmental conditions. Evaluation/repair should occur prior to purchase and closing to ensure the buyer understands the full scope of the concern.

Exterior : 2. Siding Material

Main House
Fiber Cement, Stone Veneer - Front

Exterior : 3. Trim Material

Main House
Composite

Exterior : 4. Porch or Stoop

Front
Concrete surface

Exterior : 4. Porch or Stoop 2

Rear
Concrete surface

Exterior : 7. Walkway

Main House Front
Concrete

Exterior : 8. Driveway

Front
Concrete

Exterior : 9. Patio

Rear
Concrete

Gas lines: Gas lines types

CSST, Steel pipe

Garage: Garage

Main House

Garage: Operation

Operated with controls, Electric eyes inspected

Door Inspection Methods: The Garage door automatically stops and reverses when meeting reasonable resistance.

Note: Remote control transmitters are not inspected or operated.

HVAC - Cooling: 1. Cooling Section**Cooling Section (General Limitations, Implications, Directions, and Inspection Methods):**

All concerns related to the Air Conditioning System/Systems identified to be deficient in the following section are hazardous, create conditions that will stop the system from functioning, create possible environmental concerns due to high humidity levels or condensate leakage, and / or are a safety concern to the occupants of this home. Winter inspections do not include the operation of the system. If the buyer would like more information concerning the functionality of the system, an invasive inspection by a HVAC technician should be requested prior to purchase. All concerns are in need of further evaluation by a Licensed HVAC Contractor. The covers were not removed for inspection.

HVAC - Cooling: 2. Type

Exterior and Attic

Central Air Conditioner, Exterior and Closet

HVAC - Cooling: 3. Ductwork

Attic

Forced air, Metal box and metal branches, Ductwork is the same for all units

HVAC - Heating: 2. Type

Natural Gas Furnace, Exterior and Closet

HVAC - Heating: 3. Ductwork

Attic

Forced air, Metal box and metal branches, Metal box and flexible branches, Ductwork the same for all units

Plumbing: 1. Water Source

Source - Public

Plumbing Section - General Limitations:

General Limitations: The plumbing and water heating items noted below necessitate professional evaluation and possible repairs by a licensed plumber or general contractor. Because they are typically hidden, visual inspection of most water supply and waste lines is not possible, so their overall condition cannot be determined. Although the plumbing was checked for operational flow and drainage, a comprehensive assessment to determine correct venting, sizing, or design during a home inspection is not possible, as the system cannot be fully stressed as it would be by a household. The water heater inspection does not include a capacity evaluation based on the number of bathrooms or fixtures. Hot water needs vary between households, and the home inspector cannot offer an opinion on the sufficiency of the home's hot water system. Verification of anti-scald fixtures is also excluded. This inspection does not ensure the home's plumbing systems and components will meet the specific needs of a particular family. Toilet flush effectiveness and washing machine drain verification are not included in this inspection. The main water shut-off valve location will be noted if found, but not operated. Functional water flow was tested at each accessible fixture. Verification of surface defects on plumbing fixtures, such as showers, tubs, and sinks, is also beyond the scope of this inspection. Since backflow protection is not always required, its presence or absence is not determined in this inspection. Regular service and inspection of the main waste line are recommended to prevent blockages and backups. This plumbing inspection is a limited functional evaluation performed under minimal system load. If the buyer wants to assess the condition of the interior plumbing lines, they should consult a licensed plumbing contractor before the purchase.

Plumbing: 2. Water Supply**Material (meter to the home)**

Not visible

Plumbing: 3. Main water shut off**location**

Off the kitchen

Water meter, Closet/Pantry

Plumbing: 4. Water Supply**Material (all visible areas)**

PEX

Plumbing: 5. Drain material

Not visible

Plumbing: 6. Water heater**location**

2nd Floor

Closet

Plumbing: 7. Water heater**capacity**

50 gallon

Plumbing: 8. Water heater power**Source**

Electric

Roof: 1. Inspection Method

Ground, Zoom Camera

Roofing Section (General Limitations, Implications, and Directions):

It is imperative to address roofing deficiencies to prevent water infiltration, which may result in structural damage. The inspection is limited to visible surfaces. Verification of fastener types and count, assessment of age, and evaluation of hidden details are excluded. For replacement budgeting, it is recommended to consult a roofing contractor. Inspections of flashings and gutters are limited to evidence of past issues, unless conducted during heavy rainfall.

Roofing Section (Roof Covering Inspection Methods):

The roof covering was inspected using binoculars/zoom camera and from a ladder at the roof eaves. Walking on the roof surface of this steepness or age may cause shingle damage. If an invasive or complete surface inspection is desired, the client should consult a licensed roofing contractor prior to purchase.

Roof: 2. Material - main house

Asphalt - main house

Roof: 3. Material - accent areas

Main house

Metal - accent areas, Folded seam

Roof: 4. Flashing

Present, Metal

Roof: 5. Gutter

Present, Standard Tray System

Structure : 1. Inspection Method

Slab Foundation

Structural Section - General Limitations:

Items needing design consideration, significance/cause evaluation, or adequacy determination should be referred to an engineer. All structural concerns must be evaluated and corrected to ensure durability and stability. Repairs and evaluations should be completed before closing to ensure the buyer understands the concern's scope. Where accessible, the structure is inspected for visual defects; however, evaluating the system for design points, such as correct span, load transfer, or building code compliance, is beyond the scope of the home inspection.

Structural Section Inspection Methods:

Where accessible and safe, the inspector used a small probe, camera, and flashlight. Visible floor and roof framing components were inspected for visual defects, including decayed, or broken structure. However, evaluation of the systems for design points, such as correct span, load transfer, or building code compliance, is beyond the scope of this inspection. The attic inspection was limited by available walking surfaces and insulation.

Structure : 2. Roof Type/Design

Gable

Structure : 3. Foundation

Concrete, Slab on Grade

**Structure : 4. Piers / Columns -
Materials/Type/Location**

Porch - wood

Structure : 5. Floor structure

Main house

Concrete, Inaccessible

Structure : 7. Wall Structure

Main House

Undetermined

Structure : 8. Ceiling structure

Main House

Truss

Structure : 9. Roof structure

Truss

STANDARDS OF PRACTICE
